



**ATTACHMENT DOCUMENT
FOR
COUNCIL MEETING**

Tuesday 31 August 2021

PART A

Michael Urquhart
GENERAL MANAGER

AGENDA

- 1. Walgett Shire Council's Portfolio report from Imperium Markets*
- 2. Development Application 2021/50 – Multi-Use Community Wellbeing and Educational Facility*
 - a) Plans of the proposed development*
 - b) Development Assessment Report*



Investment Report

01/07/2021 to 31/07/2021

Portfolio Valuation as at 31/07/2021

Issuer	Rating	Type	Alloc	Interest	Purchase	Maturity	Rate	Capital Value	Accrued	Accrued MTD
BOQ	BBB+	TD	GENERAL	At Maturity	11/11/2020	11/08/2021	0.5400	1,000,000.00	3,890.96	458.63
Commonwealth Bank	AA-	FRTD	GENERAL	Quarterly	24/08/2016	23/08/2021	1.1406	500,000.00	1,078.10	484.36
Commonwealth Bank	AA-	FRTD	GENERAL	Quarterly	31/08/2016	31/08/2021	1.0903	500,000.00	970.82	463.00
Auswide Bank	BBB	TD	GENERAL	At Maturity	03/03/2021	03/09/2021	0.5000	1,000,000.00	2,068.49	424.66
ING Direct	A	TD	GENERAL	Annual	14/09/2016	14/09/2021	3.1200	500,000.00	13,719.45	1,324.93
AMP Bank	BBB	TD	GENERAL	At Maturity	25/11/2020	29/09/2021	0.7000	1,000,000.00	4,775.34	594.52
MyState Bank	BBB	TD	GENERAL	At Maturity	17/03/2021	06/10/2021	0.4000	1,000,000.00	1,501.37	339.73
Westpac	AA-	FRTD	GENERAL	Quarterly	16/11/2016	16/11/2021	1.2394	1,000,000.00	2,580.67	1,052.64
BOQ	BBB+	TD	GENERAL	At Maturity	18/11/2020	17/11/2021	0.5500	1,000,000.00	3,857.53	467.12
NAB	AA-	TD	GENERAL	Annual	21/11/2018	22/11/2021	3.0000	1,000,000.00	20,630.14	2,547.95
Newcastle Permanent	BBB	TD	GENERAL	Annual	11/02/2019	16/02/2022	3.0500	1,000,000.00	13,871.23	2,590.41
AMP Bank	BBB	TD	GENERAL	At Maturity	09/06/2021	09/03/2022	0.3500	1,000,000.00	508.22	297.26
Newcastle Permanent	BBB	TD	GENERAL	Quarterly	10/04/2019	13/04/2022	2.7000	1,000,000.00	1,479.45	1,479.45
AMP Bank	BBB	TD	GENERAL	At Maturity	20/04/2021	20/04/2022	0.7000	1,000,000.00	1,975.34	594.52
AMP Bank	BBB	TD	GENERAL	At Maturity	30/06/2021	26/04/2022	0.3500	1,000,000.00	306.85	297.26
Members Equity Bank	BBB+	TD	GENERAL	Annual	10/05/2017	11/05/2022	3.4700	1,000,000.00	7,890.68	2,947.12
Members Equity Bank	BBB+	TD	GENERAL	At Maturity	16/06/2021	22/06/2022	0.5000	1,000,000.00	630.14	424.66
BOQ	BBB+	TD	GENERAL	Annual	02/07/2018	06/07/2022	3.5000	1,000,000.00	2,876.71	2,876.71

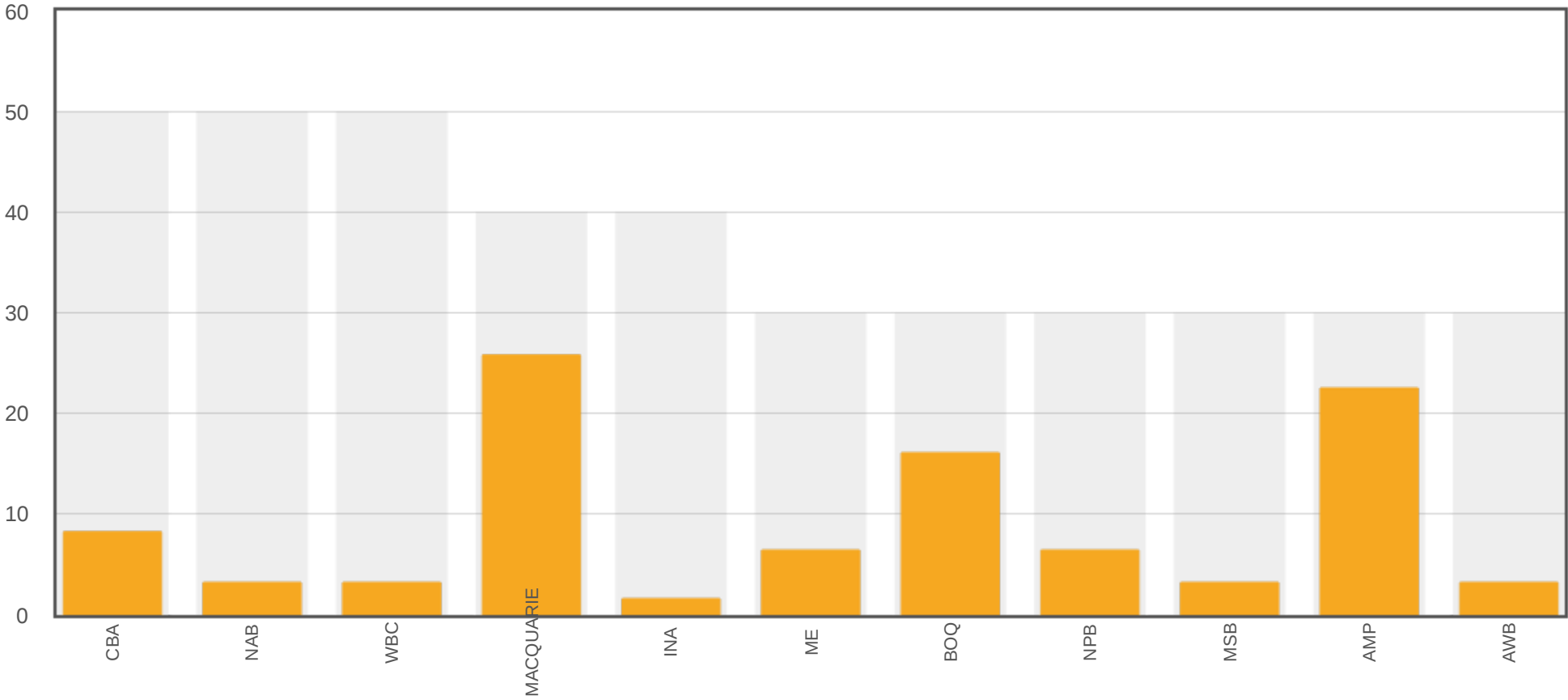
Issuer	Rating	Type	Alloc	Interest	Purchase	Maturity	Rate	Capital Value	Accrued	Accrued MTD
AMP Bank	BBB	TD	GENERAL	Annual	10/03/2021	07/09/2022	0.7500	1,000,000.00	2,958.90	636.99
AMP Bank	BBB	TD	GENERAL	Annual	01/02/2019	31/01/2024	3.1500	1,000,000.00	15,620.55	2,675.34
BOQ	BBB+	TD	GENERAL	Annual	12/06/2019	12/06/2024	2.5500	1,000,000.00	3,283.56	2,165.75
AMP Bank	BBB	TD	GENERAL	Annual	07/08/2019	07/08/2024	2.0000	1,000,000.10	19,671.23	1,698.63
BOQ	BBB+	TD	GENERAL	Annual	06/08/2020	06/08/2025	1.3000	1,000,000.00	12,821.92	1,104.11
Macquarie Bank	A+	CASH	GENERAL	Monthly	31/07/2021	31/07/2021	0.4000	8,014,230.49	1,735.66	1,735.66
Commonwealth Bank	AA-	CASH	GENERAL	Monthly	31/07/2021	31/07/2021	0.0000	548,020.13	-	-
Commonwealth Bank	AA-	CASH	GENERAL	Monthly	31/07/2021	31/07/2021	0.2000	1,017,196.43	254.94	254.94
TOTALS								31,079,447.15	140,958.27	29,936.37

Counterparty Compliance as at 31/07/2021

Long Term Investments

Compliant	Bank Group	Term	Rating	Invested	Invested (%)	Limit (%)	Limit (\$)	Available
✓	Commonwealth Bank	Long	AA-	2,565,216.56	8.25	50.00	-	12,974,507.02
✓	NAB	Long	AA-	1,000,000.00	3.22	50.00	-	14,539,723.58
✓	Westpac	Long	AA-	1,000,000.00	3.22	50.00	-	14,539,723.58
✓	Macquarie Bank	Long	A+	8,014,230.49	25.79	40.00	-	4,417,548.37
✓	ING Direct	Long	A	500,000.00	1.61	40.00	-	11,931,778.86
✓	Members Equity Bank	Long	BBB+	2,000,000.00	6.43	30.00	-	7,323,834.15
✓	BOQ	Long	BBB+	5,000,000.00	16.09	30.00	-	4,323,834.15
✓	Newcastle Permanent	Long	BBB	2,000,000.00	6.43	30.00	-	7,323,834.15
✓	MyState Bank	Long	BBB	1,000,000.00	3.22	30.00	-	8,323,834.15
✓	AMP Bank	Long	BBB	7,000,000.10	22.52	30.00	-	2,323,834.05
✓	Auswide Bank	Long	BBB	1,000,000.00	3.22	30.00	-	8,323,834.15
TOTALS				31,079,447.15	100.00			

Counterparty Compliance - Long Term Investments

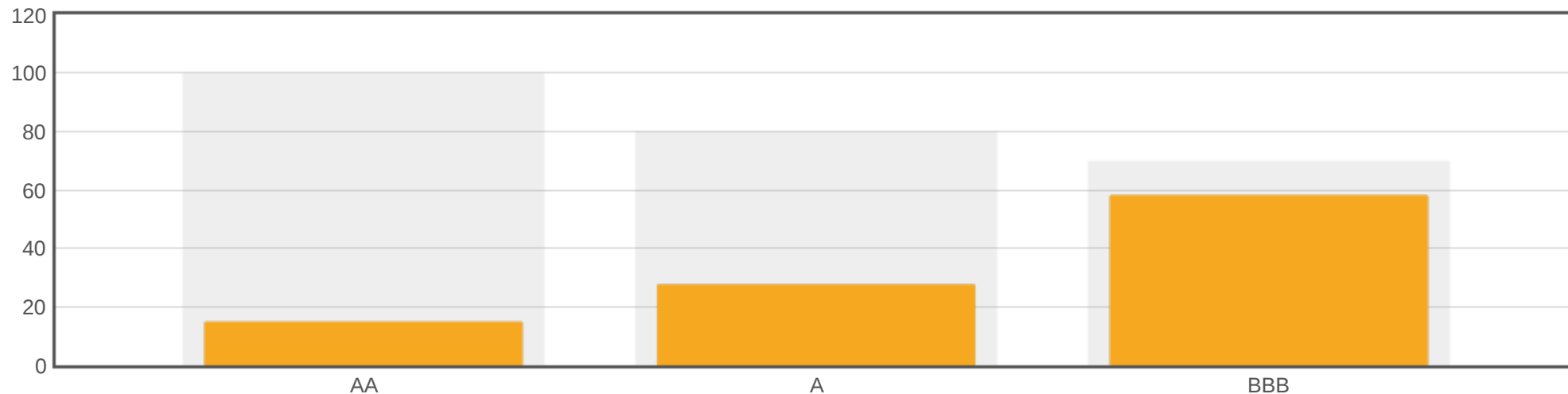


Credit Quality Compliance as at 31/07/2021

Long Term Investments

Compliant	Rating	Invested (\$)	Invested (%)	Limit (%)	Available
✓	AA	4,565,216.56	14.69	100.00	26,514,230.59
✓	A	8,514,230.49	27.39	80.00	16,349,327.23
✓	BBB	18,000,000.10	57.92	70.00	3,755,612.91
TOTALS		31,079,447.15	100.00		

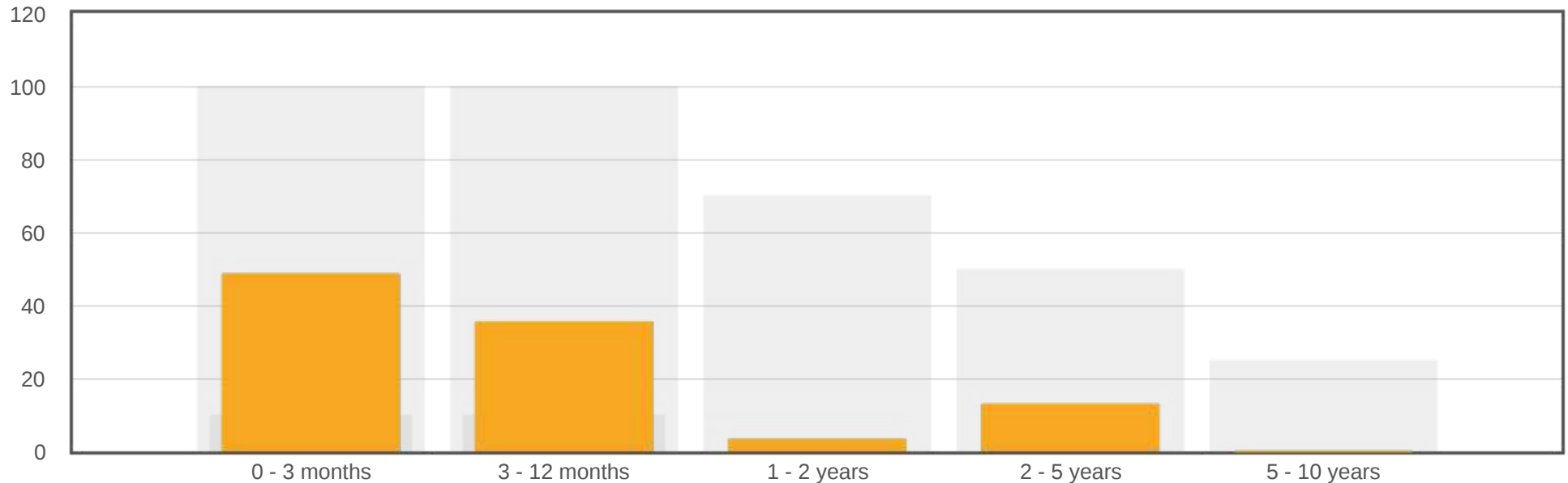
Credit Quality Compliance - Long Term Investments



Maturity Compliance as at 31/07/2021

Compliant	Term	Invested	Invested (%)	Min Limit (%)	Max Limit (%)	Available
✓	0 - 3 months	15,079,447.05	48.52	10.00	100.00	16,000,000.10
✓	3 - 12 months	11,000,000.00	35.39	10.00	100.00	20,079,447.15
✓	1 - 2 years	1,000,000.00	3.22	0.00	70.00	20,755,613.01
✓	2 - 5 years	4,000,000.10	12.87	0.00	50.00	11,539,723.48
✓	5 - 10 years	-	0.00	0.00	25.00	7,769,861.79
TOTALS		31,079,447.15	100.00			

Maturity Compliance



Portfolio Comparison

From: 30/06/2021 To: 31/07/2021

Issuer	Rating	Type	Rate	Purchase	Maturity	Interest	30/06/2021	31/07/2021	Difference
BOQ	BBB+	TD	3.1500	02/07/2018	07/07/2021	Annual	1,000,000.00	-	-1,000,000.00
BOQ	BBB+	TD	0.5400	11/11/2020	11/08/2021	At Maturity	1,000,000.00	1,000,000.00	-
Commonwealth Bank	AA-	FRTD	1.1406	24/08/2016	23/08/2021	Quarterly	500,000.00	500,000.00	-
Commonwealth Bank	AA-	FRTD	1.0903	31/08/2016	31/08/2021	Quarterly	500,000.00	500,000.00	-
Auswide Bank	BBB	TD	0.5000	03/03/2021	03/09/2021	At Maturity	1,000,000.00	1,000,000.00	-
ING Direct	A	TD	3.1200	14/09/2016	14/09/2021	Annual	500,000.00	500,000.00	-
AMP Bank	BBB	TD	0.7000	25/11/2020	29/09/2021	At Maturity	1,000,000.00	1,000,000.00	-
MyState Bank	BBB	TD	0.4000	17/03/2021	06/10/2021	At Maturity	1,000,000.00	1,000,000.00	-
Westpac	AA-	FRTD	1.2394	16/11/2016	16/11/2021	Quarterly	1,000,000.00	1,000,000.00	-
BOQ	BBB+	TD	0.5500	18/11/2020	17/11/2021	At Maturity	1,000,000.00	1,000,000.00	-
NAB	AA-	TD	3.0000	21/11/2018	22/11/2021	Annual	1,000,000.00	1,000,000.00	-
Newcastle Permanent	BBB	TD	3.0500	11/02/2019	16/02/2022	Annual	1,000,000.00	1,000,000.00	-
AMP Bank	BBB	TD	0.3500	09/06/2021	09/03/2022	At Maturity	1,000,000.00	1,000,000.00	-
Newcastle Permanent	BBB	TD	2.7000	10/04/2019	13/04/2022	Quarterly	1,000,000.00	1,000,000.00	-
AMP Bank	BBB	TD	0.7000	20/04/2021	20/04/2022	At Maturity	1,000,000.00	1,000,000.00	-
AMP Bank	BBB	TD	0.3500	30/06/2021	26/04/2022	At Maturity	1,000,000.00	1,000,000.00	-
Members Equity Bank	BBB	TD	3.4700	10/05/2017	11/05/2022	Annual	1,000,000.00	1,000,000.00	-

Issuer	Rating	Type	Rate	Purchase	Maturity	Interest	30/06/2021	31/07/2021	Difference
Members Equity Bank	BBB	TD	0.5000	16/06/2021	22/06/2022	At Maturity	1,000,000.00	1,000,000.00	-
BOQ	BBB+	TD	3.5000	02/07/2018	06/07/2022	Annual	1,000,000.00	1,000,000.00	-
AMP Bank	BBB	TD	0.7500	10/03/2021	07/09/2022	Annual	1,000,000.00	1,000,000.00	-
AMP Bank	BBB	TD	3.1500	01/02/2019	31/01/2024	Annual	1,000,000.00	1,000,000.00	-
BOQ	BBB+	TD	2.5500	12/06/2019	12/06/2024	Annual	1,000,000.00	1,000,000.00	-
AMP Bank	BBB	TD	2.0000	07/08/2019	07/08/2024	Annual	1,000,000.10	1,000,000.10	-
BOQ	BBB+	TD	1.3000	06/08/2020	06/08/2025	Annual	1,000,000.00	1,000,000.00	-
Macquarie Bank	A+	CASH	0.4000	30/06/2021	30/06/2021	Monthly	5,012,166.10	8,014,230.49	3,002,064.39
Commonwealth Bank	AA-	CASH	0.0000	30/06/2021	30/06/2021	Monthly	4,453,714.72	548,020.13	-3,905,694.59
Commonwealth Bank	AA-	CASH	0.2000	30/06/2021	30/06/2021	Monthly	1,516,979.94	1,017,196.43	-499,783.51
TOTALS							33,482,860.86	31,079,447.15	-2,403,413.71

Interest Received in Period

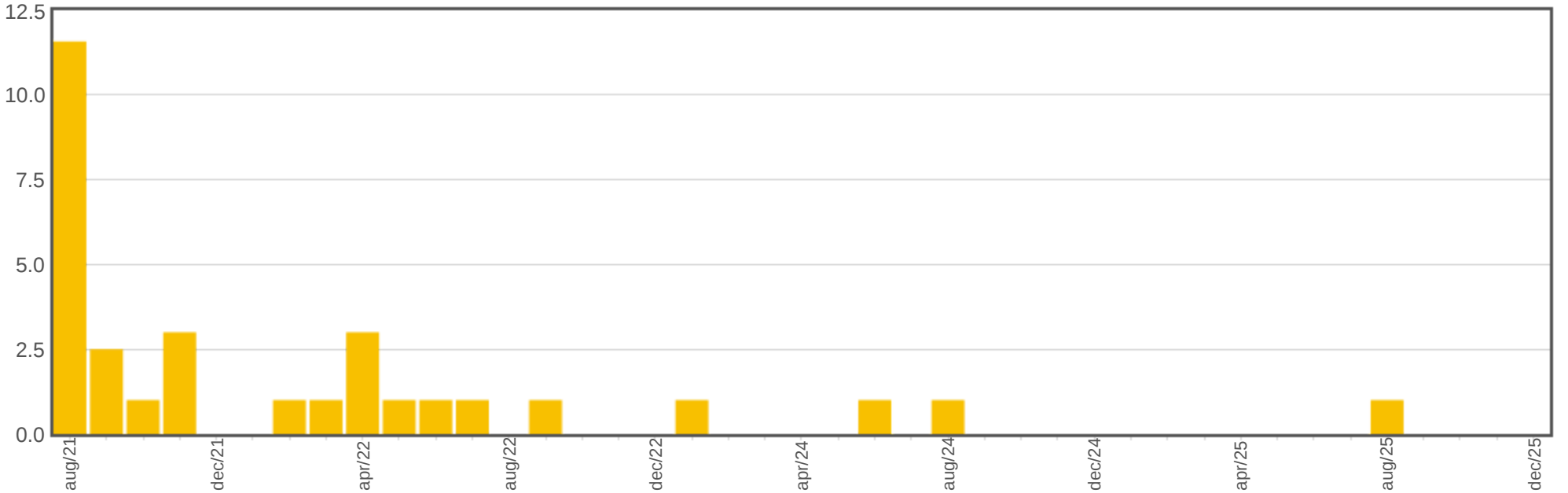
From: 01/07/2021 To: 31/07/2021

Periodic Interest

Issuer	Rating	Type	Alloc	Frequency	Value	Purchase	Maturity	Coupon Date	Type	Rate	Received
BOQ	BBB+	TD	GENERAL	Annual	1,000,000.00	02/07/2018	07/07/2021	07/07/2021	Maturity	3.1500	31,931.51
Newcastle Permanent	BBB	TD	GENERAL	Quarterly	1,000,000.00	10/04/2019	13/04/2022	12/07/2021	Periodic	2.7000	6,731.51
BOQ	BBB+	TD	GENERAL	Annual	1,000,000.00	02/07/2018	06/07/2022	02/07/2021	Periodic	3.5000	35,000.00
TOTALS					3,000,000.00						73,663.01

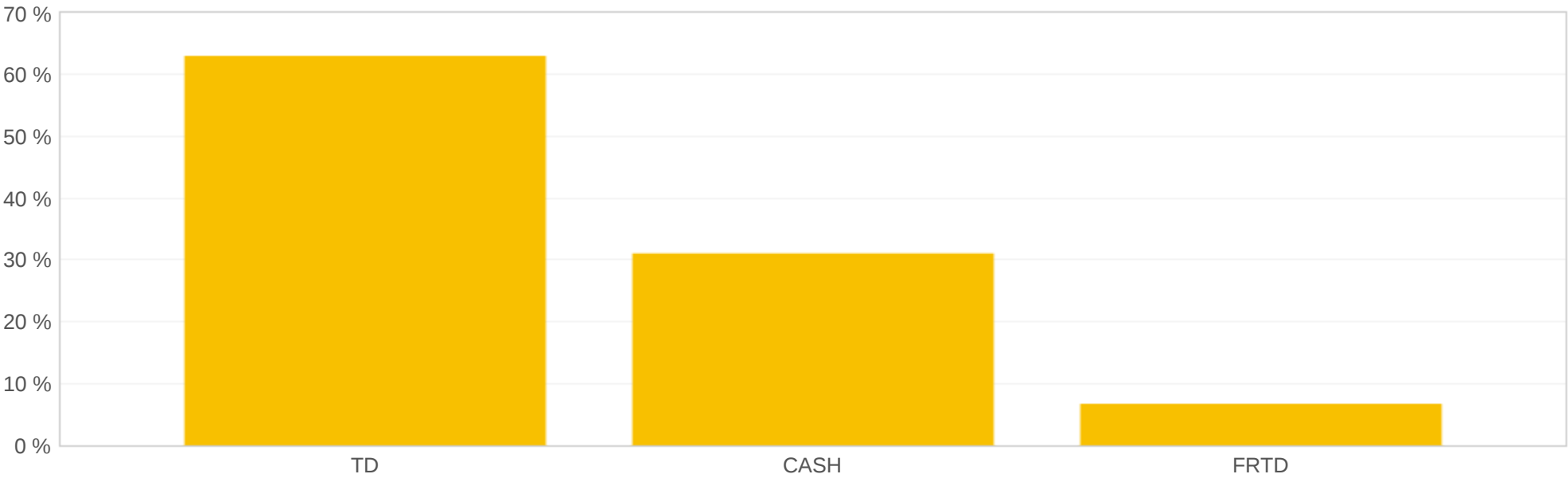
Maturity Cashflow as at 31/07/2021

Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
2021	-	-	-	-	-	-	-	11,579,447	2,500,000	1,000,000	3,000,000	-	18,079,447.05
2022	-	1,000,000	1,000,000	3,000,000	1,000,000	1,000,000	1,000,000	-	1,000,000	-	-	-	9,000,000.00
2024	1,000,000	-	-	-	-	1,000,000	-	1,000,000	-	-	-	-	3,000,000.10
2025	-	-	-	-	-	-	-	1,000,000	-	-	-	-	1,000,000.00
TOTALS													31,079,447.15



Asset Class as at 31/07/2021

Code	Number of Trades	Invested	Invested (%)
TD	20	19,500,000.10	62.74
CASH	25	9,579,447.05	30.82
FRTD	3	2,000,000.00	6.44
TOTALS	26	31,079,447.15	100.0



GENERAL NOTES

PROPOSED NEW COMMUNITY CENTRE

- 1DESIGNED IN ACCORDANCE WITH THE BCA 2012 VOLUME 2 AND THE STANDARD BUILDING REGULATIONS 2021 AND WALGETT SHIRE COUNCIL
- 2THE WIND DESIGN SPEED FOR CALCULATIONS REFER ENGINEERS DETAILS AND DESIGN.
- 3WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALE. THE BUILDER SHALL SITE CHECK AND VARIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- 4ANY UNDERGROUND SERVICES SHOWN ON THESE PLANS ARE LOCATED OFF COUNCIL RECORDS AND FROM EXTERNAL CONSULTANTS.
CHECK THE ACCURACY OF THE LOCATION OF SERVICES.
- 5SITE PREPARATION SHALL BE IN ACCORDANCE WITH AS3796 AND PART 3.1 OF THE BCA.
- 6SUB FLOOR VENTILATION WHERE APPLICABLE IS TO COMPLY WITH PART 3.4 OF THE BCA AND CLAUSE 3.4.1 OF THE BCA.
- 7TERMITE MANAGEMENT SHALL COMPLY WITH BCA 2008 VOLUME 2 PART 3.1.3 AND AS3660.1
- 8DRIVEWAY GRADE TO BE MAXIMUM 1 IN 4.
- 9THE FACILITY IS NOT TO EXCEED 9.0 METERS ABOVE GROUND LINE
- 10CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS2870 AND PART 3.2 OF THE BCA 2012 VOLUME 2.
- 11MASONARY CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS3700 AND PART 3.3 OF THE BCA 2012 VOLUME 2.
- 12ALL TIMBER CONSTRUCTION AND DETAILS SHALL BE IN ACCORDANCE WITH AS1684.2 AND PART 3.4 OF THE BCA 2012 VOLUME 2.
- 13STEELWORK SHALL BE IN ACCORDANCE WITH AS4100, AS1111 AND AS1112 AND PART 3.4.2 OF THE BCA 2012 VOLUME 2.
- 14CONCRETE SLABS AND FOOTINGS ARE TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND THE ENGINEERS DESIGN DOCUMENTATION.
- 15FINISHED FLOOR LEVEL SHALL FINISH A MINIMUM OF 250mm ABOVE THE FINISHED GROUND PLATFORM LEVEL.
- 16POLYTHENE MOISTURE BARRIER SHALL BE LAPPED 200mm AND FULLY TAPED UNDER CONCRETE SLAB AND SHALL EXTEND 100mm ONTO THE PERIMETER FOOTING.
- 17SLAB MESH SHALL BE SUPPORTED BY CHAIRS ON DISCS.
- 18DAMP PROOF COURSE AND WEEP HOLES TO COMPLY WITH PART 3 CLAUSE 3.3.4 OF THE BCA.
- 19SARKING TO ROOF AND WALLS TO COMPLY WITH PART 3.5 OF THE BCA.
- 20DOUBLE SIDED ALFOIL VAPOUR BARRIER SHALL COVER THE WHOLE ROOF AND FALL TO GUTTER.
- 21GLAZING TO COMPLY WITH PART 3.6 OF THE BCA.
- 22FIRE SEPARATION TO COMPLY WITH PART 3.7.1 OF THE BCA.
- 23SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND PART 3 CLAUSE 3.7.2 OF THE BCA.
- 24ALL WET AREAS TO COMPLY WITH PART 3 CLAUSE 3.8.1 OF THE BCA.
- 25ROOM HEIGHTS TO COMPLY WITH PART 3 CLAUSE 3.8.2 OF THE BCA.
- 26CONSTRUCTION OF SANITARY COMPARTMENTS TO COMPLY WITH PART 3 CLAUSE 3.8.3 OF THE BCA.
- 27NATURAL LIGHT TO COMPLY WITH PART 3 CLAUSE 3.8.4 OF THE BCA.
- 28NATURAL VENTILATION TO COMPLY WITH PART 3 CLAUSE 3.8.5 OF THE BCA.
- 29SAFE MOVEMENT, ACCESS, STAIRS AND BALUSTRADING TO COMPLY WITH BCA 2008 VOLUME 2 PART 3.9 CLAUSES 3.9.1 STAIR CONSTRUCTION, 3.9.2 BALUSTRADES,
3.9.3 SWIMMING POOL ACCESS, 3.9.4 SWIMMING POOL WATER RECIRCULATION SYSTEMS AND AS1170. BALUSTRADING NEEDS TO BE 1 METER HIGH WITH A MAXIMUM GAP OF 125mm
GAP BETWEEN VERTICAL OR HORIZONTAL BALUSTRADE MEMBERS. IF GREATER THAN 4 METERS ABOVE GROUND LEVEL, IT MUST NOT FACILITATE CLIMBING BETWEEN 150mm AND 750mm.
FOR BALUSTRADES TO STAIRS THIS HEIGHT CAN BE REDUCED TO 865mm.
- 30ALL PREFABRICATED ROOF TRUSSES TO BE ENGINEER DESIGNED AND CERTIFIED AND FIXED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.
- 31REFER STRUCTURAL ENGINEERS DOCUMENTATION FOR BRACING, TIE DOWN, STEEL WORK, RETAINING WALLS, SLAB AND FOOTING DESIGN DETAILS.
- 32PROVISIONS FOR PERSONS WITH A DISABILITY REFER AS1428.1 TO AS1428.4 ACESS AND MOBILITY CODE.
- 33ENERGY EFFICIENCY RATING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY REGULATIONS AND PART 3.12 OF THE BCA VOLUME 2 2008.

CLIENT	RARMs	
SITE ADDRESS	11 WILSON STREET COLLARENBRI	
CONTENTS		
Sheet Name		Sheet Number
COVER SHEET	DA1.0	
SITE ANALYSIS	DA2.0	
SITE PLAN	DA2.1	
STORMWATER MANAGEMENT PLAN	DA2.2	
FLOOR PLAN	DA3.1	
ROOF PLAN	DA3.5	
ELEVATIONS	DA4.0	
ELEVATIONS	DA4.1	
3D	DA5.0	

GENERAL FITOUT DOCUMENTATION NOTES:
ALL WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS. THE SUB-CONTRACTOR MUST ADHERE TO THE REQUIREMENTS OF THE WORKPLACE HEALTH AND SAFETY ACT, AND BUILDING FITOUT GUIDE WHEN PERFORMING ANY WORK ON SITE.
THE FITOUT WILL ON COMPLETION COMPLY WITH THE FOLLOWING LIST OF CLAUSES OF THE BCA.
• SPECIFICATION C1.10 FIRE INDICES
• CLAUSE D1.6 DIMENSIONS OF EXITS AND PATHS OF TRAVEL TO EXITS
• CLAUSE D2.21 - OPERATION OF LATCHES
• PART D3 - ACCESS FOR PEOPLE WITH DISABILITIES
• D3.2 - ACCESS TO BUILDINGS, D3.6 - IDENTIFICATION OF ACCESS FACILITIES
• E1.3 FIRE HYDRANTS, E1.4 FIRE HOSE REELS, E1.5 SPRINKLERS
• E1.6 PORTABLE FIRE EXTINGUISHERS
• SPECIFICATION: E2.2a
• SMOKE DETECTION AND ALARM SYSTEMS
• E4.2 EMERGENCY LIGHTING, E4.4 DESIGN & OPERATION OF EMERGENCY LIGHTING, E4.5 EXIT SIGNS, E4.6 DIRECTIONAL SIGNS
• E4.8 DESIGN & OPERATION OF EXIT SIGNS, F4.4 ARTIFICIAL LIGHTING
• F4.5 VENTILATION OF ROOMS
IT WILL BE THE RESPONSIBILITY OF EACH TRADE TO ORGANISE THE ISOLATION AND RE-COMMISSIONING OF THE FIRE SERVICES WHENEVER NECESSARY FOR THEM TO COMPLETE THEIR WORKS.
IT WILL BE THE RESPONSIBILITY OF EACH TRADE TO MAKE PROVISION FOR PENETRATIONS, CHASING, PATCHING, FLASHING AND MAKING GOOD WORKS ASSOCIATED WITH THE BUILDING STRUCTURE.
ACCORDINGLY, IT IS SPECIFIED THAT THE PROPOSED WORKS WILL COMPLY WITH THE ABOVE MEASURES.

LEGEND
FC FIBRE CEMENT LINING
TGSi,S TACTILE GROUND SURFACE INDICATORS
F/C FLOOR TO CEILING HEIGHT
WPB WET AREA PLASTER BOARD
FFL FINISHED FLOOR LEVEL
FCL FINISHED CEILING LEVEL
GF GROUND FLOOR
UF UPPER FLOOR
AHD AUSTRALIAN HEIGHT DATUM
OMP OUTER MOST PROJECTION

DRAWING ISSUE

Rev	Date	Change
A	03/08/21	DA ISSUE



PRINCIPAL DESIGNER LUKE STEPHENS
QBSA LIC NO 1105547
E : info@iphorm.com.au
M : 0432 597 538
A : 12 WOODROFFE STREET TERRANORA

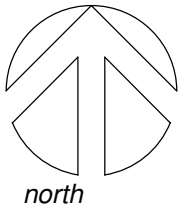
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Scale 1 : 100
Drawn by LCS
Date 26/07/2021
Issue DA

COLLARENEBRI COMMUNITY HUB
11 WILSON STREET
ISSUE FOR APPROVAL
Job number

COVER SHEET

Sheet No.
DA1.0



DA APPROVED
MEDICAL CENTRE

SUBJECT SITE

1 SITE ANALYSIS
1 : 500



PRINCIPAL DESIGNER LUKE STEPHENS
QBSA LIC NO 1105547
E : info@ipform.com.au
M : 0432 597 538
A : 12 WOODROFFE STREET TERRANORA

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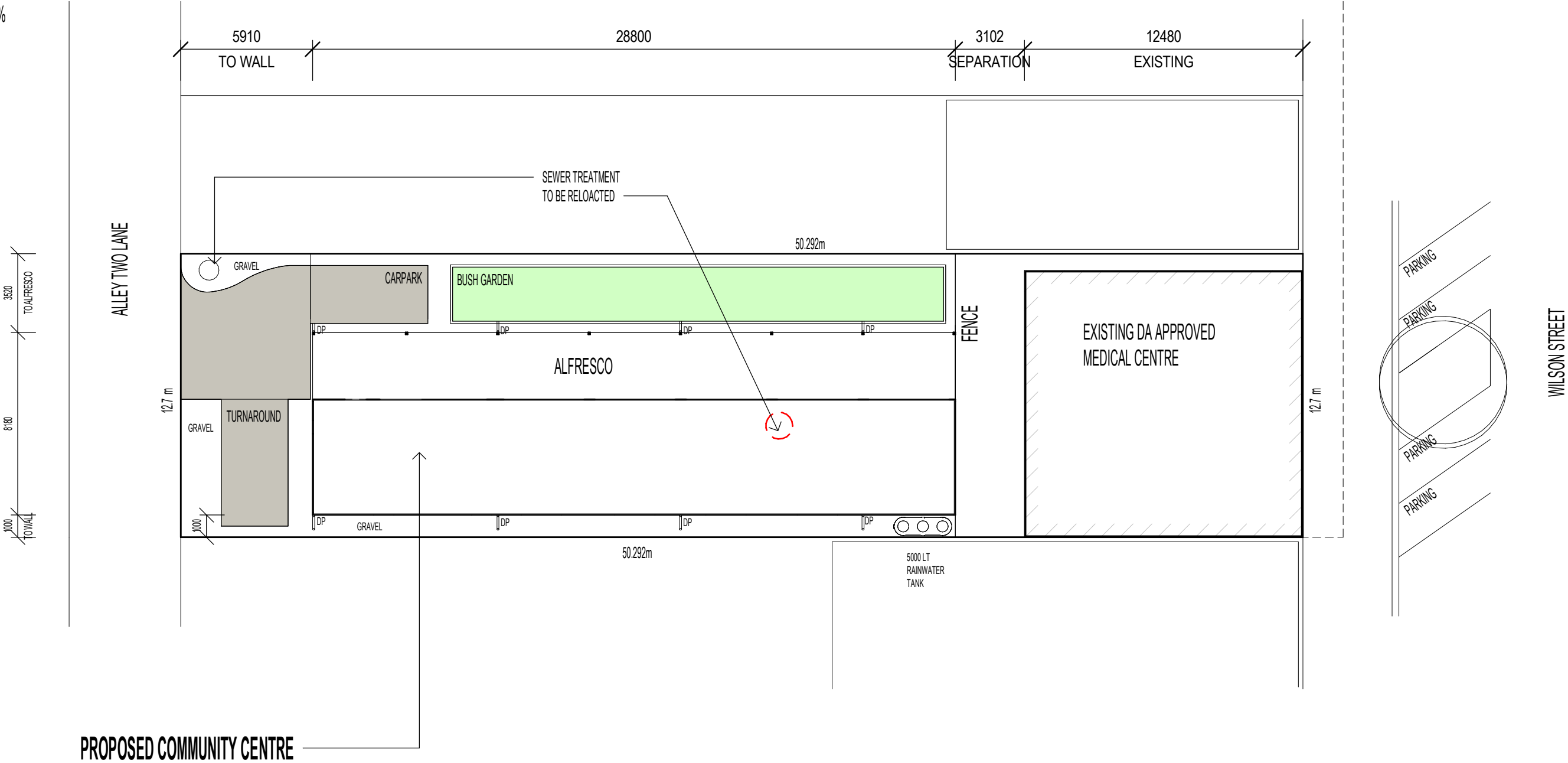
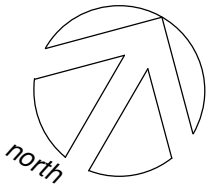
Scale 1 : 500
Drawn by LCS
Date 26/07/2021
Issue DA

COLLARENEBRI COMMUNITY HUB
11 WILSON STREET
ISSUE FOR
APPROVAL
Job number

SITE ANALYSIS

Sheet No.
DA2.0

DP 101967
11 WILSONS STREET
COLLARENDBRI
COUNCIL : WALGETT SHIRE COUNCIL
SITE AREA 638.0 SQ.M
EXISTING 149.136 SQ.M
PROPOSED 235.5 SQ.M
SITE COVER 60.2%



1 SITE PLAN
1 : 200



PRINCIPAL DESIGNER LUKE STEPHENS
QBSA LIC NO 1105547
E : info@ipform.com.au
M : 0432 597 538
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Issue DA

COLLARENEBRI COMMUNITY HUB
11 WILSON STREET
ISSUE FOR
APPROVAL
Job number

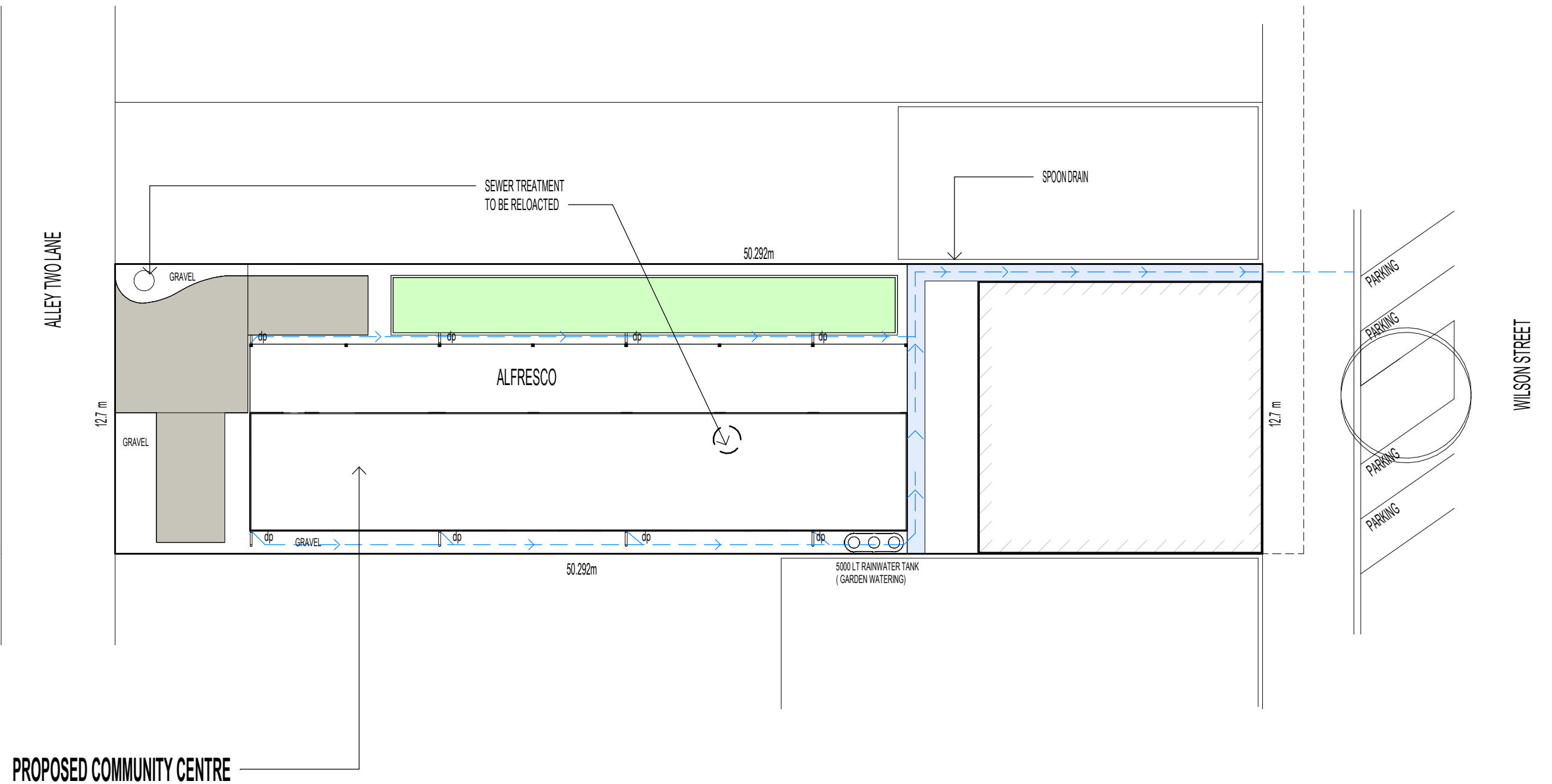
SITE PLAN

Sheet No.
DA2.1

dp indicates downpipe location
refer floor plan for exact locations

☒ indicates 300x300 yard gully
with grated lid

INDICATES 1000 upvc s.w.
TO 5000 LT RAIN WATER TANK
OVERFLOW TO STREET



1 STORMWATER MANAGEMENT PLAN
1 : 200



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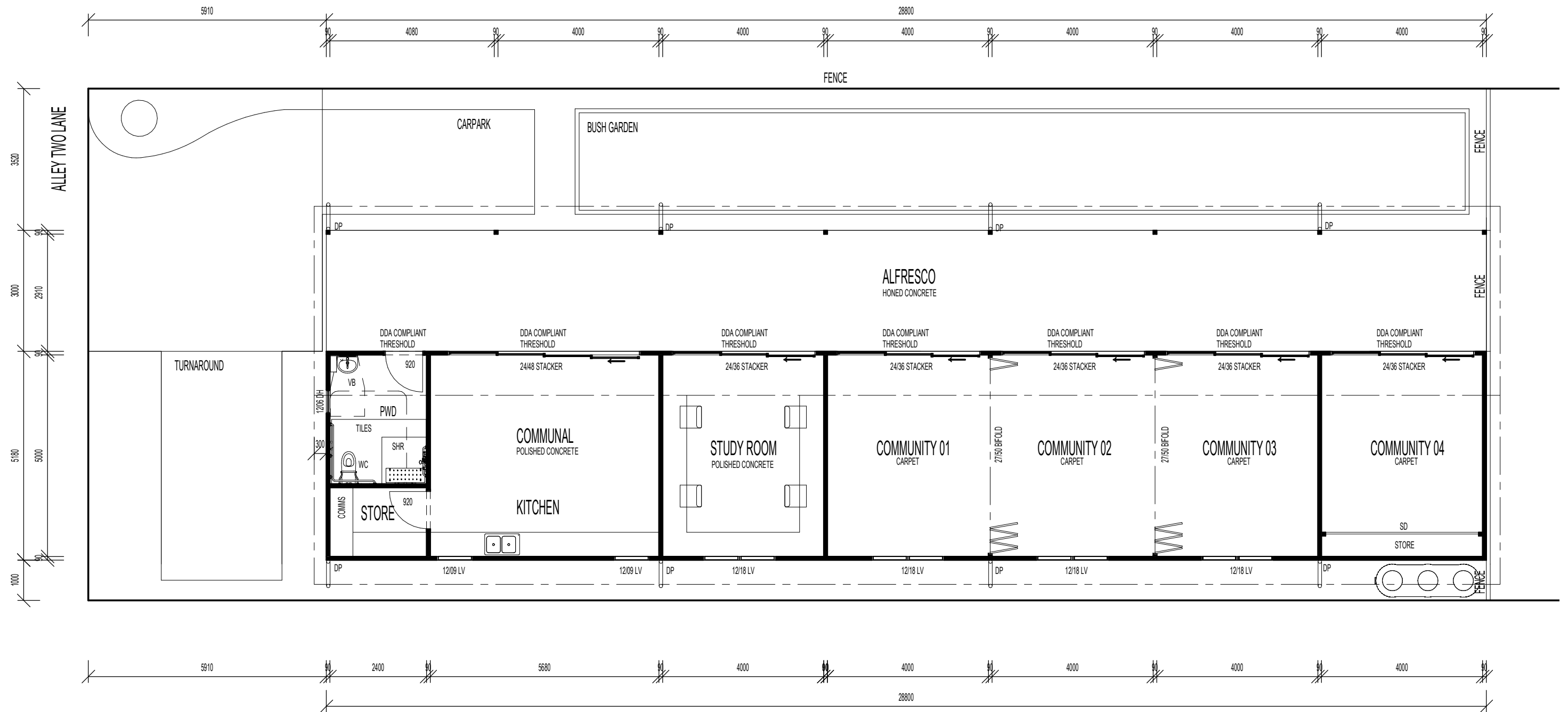
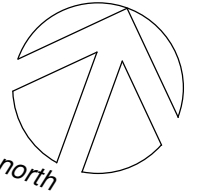
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STORMWATER MANAGEMENT PLAN

Sheet No.
DA2.2



FLOOR AREAS
INTERNAL - 149.1 SQ.M
ALFRSCO - 86.4 SQ.M
TOTAL - 235.5 SQ.M

1 FLOOR PLAN
1 : 100



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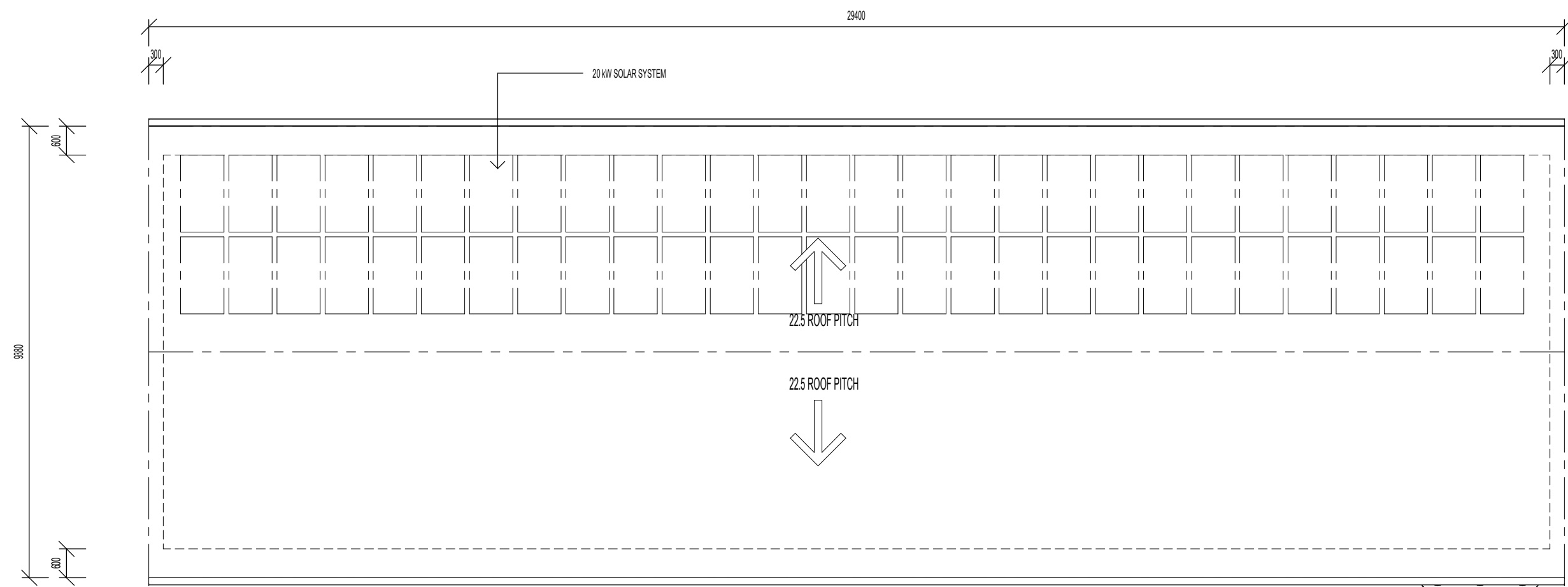
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Issue DA

COLLARENEBRI COMMUNITY HUB
11 WILSON STREET
ISSUE FOR
APPROVAL
Job number

FLOOR PLAN

Sheet No.
DA3.1

ROOF SHEETING - COLORBOND SHEETING
FASCIA AND GUTTER - COLORBOND
SOLAR SYSTEM - 20 KW WITH SELECT POWER WALL SYSTEM



1 ROOF PLAN
1 : 100



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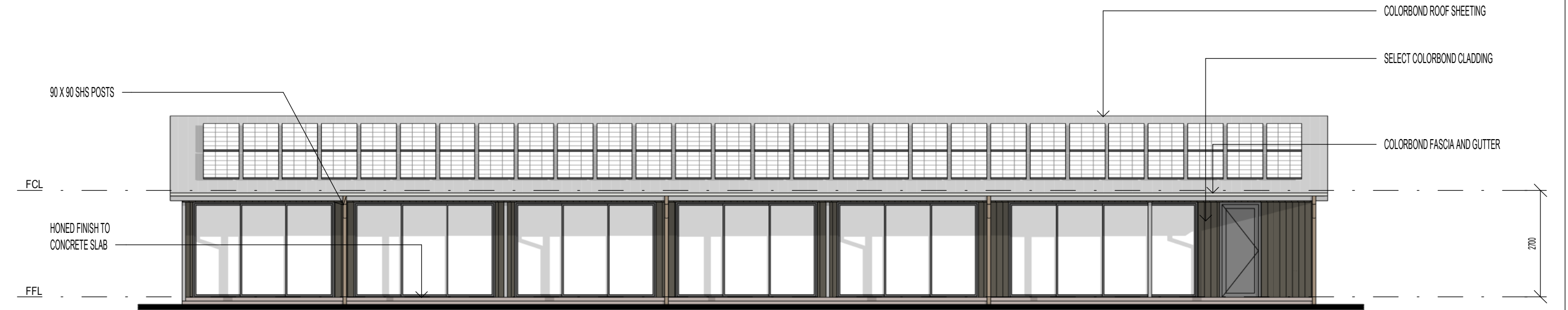
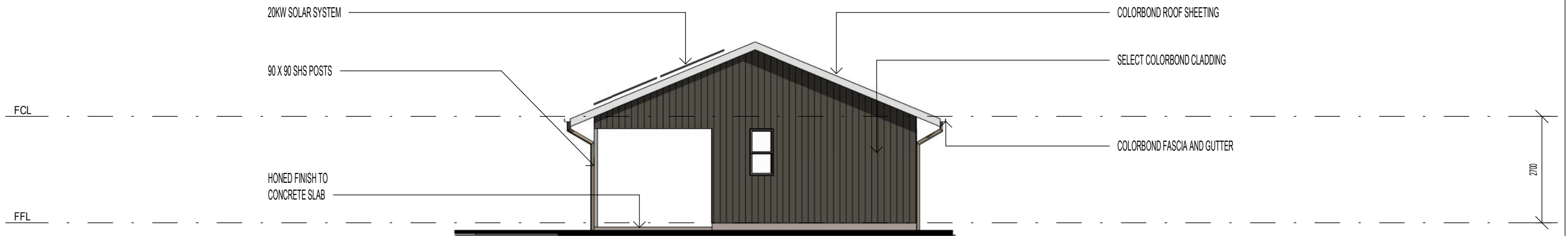
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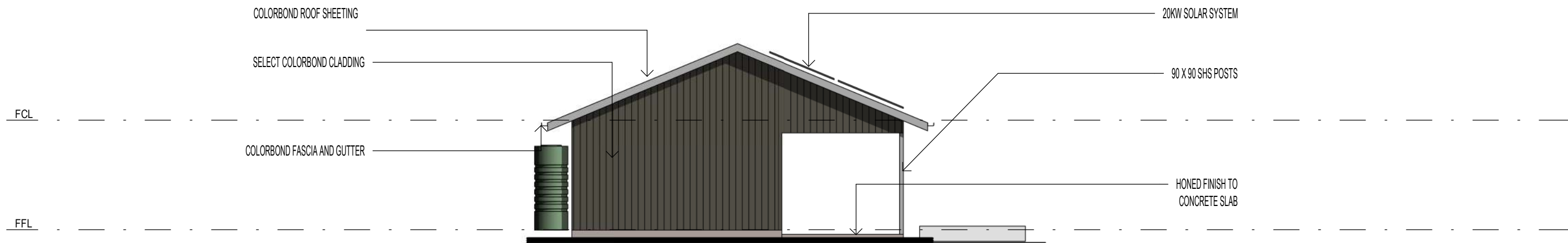
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11 WILSON STREET
ISSUE FOR
Job number APPROVAL

ROOF PLAN

Sheet No.
DA3.5



Elevation 1 - a



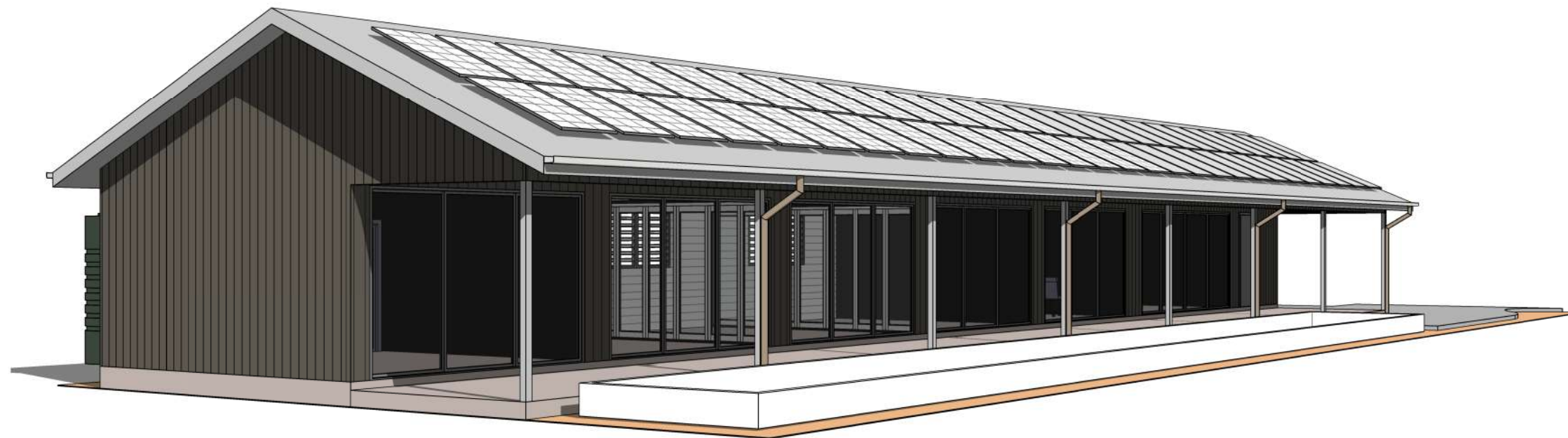
Elevation 4 - a



Elevation 3 - a



3D View 01



3D View 02

Development Assessment Report

DA Number:	DA2021/50	Council:	Walgett
Location:	11 Wilson St Collarenebri		
Development Description:	Demolition of small shed, clearing of site, construction of single-storey multi-use community wellbeing and educational facility.		
Title Details:	Lot C DP 101967		

Proposal Overview

Demolition of shed located at the rear of the property.

Clearing the site of vegetation – scattered grasses.

Construction of a single storey multi-use community wellbeing and educational facility that is 28.8m in length 5.18m wide with an additional 3m wide concrete alfresco area that is attached to the multi-use community building.

As a result of this proposal there will be an additional four community rooms, one study room, a communal space with a kitchen as well as a storage room and bathroom. Entry to each of these rooms run parallel to the alfresco area. Three of the community rooms will be able to open up through stacker doors to allow for an open multi-use space.

One carpark is proposed at the rear of the property with access to the alley way. There is a turnaround bay so the vehicle can enter and exit the property in a forward motion. A bush garden is proposed parallel to the alfresco area and boundary line to the north.

Property Details / History

	Checked	Comments
File History	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Submitted: 04/08/2021 Lodged: 10/08/2021 NN Commenced: 10/08/2021 NN Finished: 24/08/2021
Title Plan	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Lot C DP 101967 11 Wilson Street, Collarenebri
Check Ownership	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Is there any other issue that requires notation?

Yes ☐ No ☒

Application Type

Is this application an Integrated Development Application?

Yes ☐ No ☒

Is this application a Designated Development Application?

Yes ☐ No ☒

Is this application for State Significant Development?

Yes ☐ No ☒

Is this application submitted by/on behalf of a Public Authority?

Yes ☐ No ☒

Is this application a staged Development?

Yes ☐ No ☒

Is this application a section 4.55 amendment?

Yes ☐ No ☒

Concurrence/Referral

Section 4.13 – EP & A Act

Does this application require concurrence referral?

Yes ☐ No ☒

Does this application require courtesy comment?

Yes ☐ No ☒

Department	Checked	Response Received	Comments/Issues Raised
Rural Fire Service	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.

Fire & Rescue	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Planning	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Biodiversity	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Heritage	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Rail	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
TfNSW	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
DEHWA	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Aviation	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Crown	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Adjoining Council	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Council Committee	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.
Public Interest Group	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Not required.

Has this application been referred to a Development Assessment Unit? Yes ☐ No ☒

Does this application require referral for decision by Council? Yes ☒ No ☐

Comment: A variation has been proposed to the WSDCP2016. Justification is stated below in the relevant section.

Is there any other issue that requires notation? Yes ☐ No ☒

Local Environmental Plan

Section 4.15(1)(a)(i) and Section 4.15(a)(ii) – EP & A Act

This land is zoned:

RU5 Village

Development as per Standard Definitions:

This development is considered to be a **community facility** means a building or place—

- a) owned or controlled by a public authority or non-profit community organisation, and
 - b) used for the physical, social, cultural or intellectual development or welfare of the community,
- but does not include an educational establishment, hospital, retail premises, place of public worship or residential accommodation.

List the relevant clause/clauses applicable under the LEP

Clause	Compliance	Comment
Land Use Table	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	This is permissible development.
6.1 Earthworks	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	A Soil & Erosions Control Plan has not been submitted, but it can be conditioned that one be submitted for the work on the car parking area.
6.6 Essential Services	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	All essential services are available to this development. All connection requirements can be conditioned as required for the individual merits of this development.

Is there a draft LEP or draft LEP amendment which may affect this proposal? Yes ☐ No ☒

Do 'existing use' provisions (Sections 4.65-4.70 of the EP&A Act) apply to this development? Yes ☐ No ☒

Is there any other issue that requires notation? Yes ☐ No ☒

Development Control Plan

Section 4.15(1)(a)(iii) & Section 4.15(3A) – EP & A Act

Is there a DCP which applies to this land/proposal?

Yes ☒ No ☐

List the relevant clause/clauses under the applicable DCP

Chapter	Clause	Compliance	Comment
4.3. General Housing and Ancillary Structures	4.3.1. Building Setbacks The building setbacks are related to the zone in the Walgett Local Environmental Plan. They are set out in the following table: Village (RU5) <ul style="list-style-type: none"> Street Frontage: 6m. Side / Rear Boundary: BCA Requirements. 	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	The development has been designed in accordance with the BCA requirements.
	4.3.5. Site Coverage The maximum site coverage for all buildings is set out in the following table <ul style="list-style-type: none"> Village (RU5) - 40% 	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	There is a variation of 20.2%. There is a maximum site coverage of 40% and once this addition is built, the total site coverage will be 60.2%. The variation is below:

Has a variation to the DCP been requested?

Yes ☒ No ☐

Variation to Development Standard 4.3.5 – Site Coverage.

The following variation is requested the development standard in the Walgett Shire Development Control Plan 2016 (WSDCP2016)

Control Being Varied:

- 4.3.5 – Site coverage - The maximum site coverage for all buildings is set out in the following table:
Village (RU5) - 40%

Extent of Variation:

- An additional 129.4m² or 20.2%.

Demonstrate no adverse impacts:

- The proposed development is at the rear of the existing shop front, and therefore, will not be able to be seen from Wilson Street.
- The proposed development will positively impact the local town of Collarenebri as it will encourage a greater sense of community.
- The development will create a virtuous cycle of health, education, training, and direct financial injection into the local economy. It will attract more local and "visiting" salaried professionals into the community.
- The development will help create the conditions for local people to up-skill and take positions currently held by "visiting" professions due to local skills shortages.
- attracting more patients from surrounding regions where primary and allied health services are not sufficiently available
- The development will attract more tourists to Collarenebri.
- The Multi-use wellbeing and educational facility will assist in making Collarenebri a healthier, better educated, wealthier community better equipped to change with the times.

We request that this variation is accepted by Walgett Shire Councillors.

Should the variation be recommended?

Yes ☒ No ☐

Comment:

As stated in the justification above. It is considered that the development will encourage community interaction and engagement as well as providing a positive boost to the community – not only economically but socially.

Is there a draft DCP which may affect this proposal?

Yes ☐ No ☒

Is there any other issue that requires notation?

Yes ☐ No ☒

Regional Environmental Plan

There is no REP applicable to this area.

State Environmental Planning Policy

Is this proposal affected by a SEPP?

Yes ☒ No ☐

<u>List all relevant SEPPs</u>		
SEPP	Compliance	Comment
SEPP 19 — Bushland in Urban Areas	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP aims to protect and preserve bushland within the urban areas because of its value to the community as part of the natural heritage, its aesthetic value, and its value as a recreational, educational and scientific resource.</i>
SEPP 21 – Caravan Parks	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP ensures that where caravan parks or camping grounds are permitted under an environmental planning instrument, movable dwellings, as defined in the Local Government Act 1993, are also permitted.</i>
SEPP 33 — Hazardous and Offensive Development	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP provides considerations for consent for hazardous & offensive development.</i>
SEPP 36 – Manufactured Homes Estates	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP helps establish well-designed and properly serviced manufactured home estates in suitable locations.</i>
SEPP 44 — Koala Habitat Protection	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP applies to land across NSW that is greater than one (1) hectare and is not a National Park or Forestry Reserve. The SEPP encourages the conservation and management of natural vegetation areas that provide habitat for koalas to ensure permanent free-living populations will be maintained over their present range.</i>
Complies	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Comment Only <input type="checkbox"/>	As the increase of the building footprint is minimal and an inspection of the sit revealed that there is no koala habitat nor potential habitat that will be affected by this development. Therefore, a Koala Plan of Management is not required. However as there is no identified koala habitat present onsite, nor is there potential habitat, a Koala Plan of Management is not required.
SEPP 47 – Moore Park Showground	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>Applies to the land shown edged heavy black on the map marked “Moore Park Showground Amendment No 1.”</i>
SEPP 50 Canal Development	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP bans new canal estates from the date of gazettal, to ensure coastal and aquatic environments are not affected by these developments.</i>
SEPP 55 — Remediation of Land	Not Applicable <input type="checkbox"/> Applicable <input checked="" type="checkbox"/>	<i>This SEPP applies to land across NSW and states that land must not be developed if it is unsuitable for a proposed use because of contamination.</i>
Complies	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Comment Only <input type="checkbox"/>	It is considered that there have been no prior contaminating land uses and the site is suitable for the proposed residential use. The property does not require an assessment for identification of contaminated sites, as the land-use would not significantly alter. The site has no history of use that would have involved chemical application or use.

SEPP 64 — Advertising and Signage	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP aims to ensure that outdoor advertising is compatible with the desired amenity and visual character of an area, provides effective communication in suitable locations and is of high-quality design and finish.</i>
SEPP 65 — Design Quality of Residential Flat Development	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP relates to residential flat development across the state through the application of a series of design principles. Provides for the establishment of Design Review Panels to provide independent expert advice to councils on the merit of residential flat development.</i>
SEPP 70 — Affordable Housing (Revised Schemes)	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP identifies that there is a need for affordable housing across the whole of the State and describes the kinds of households for which affordable housing may be provided and makes a requirement with respect to the imposition of conditions relating to the provision of affordable housing.</i>
Aboriginal Land 2019	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP provides for development delivery plans for areas of land owned by Local Aboriginal Land Councils to be considered when development applications are considered, and declares specified development carried out on land owned by Local Aboriginal Land Councils to be regionally significant development.</i>
Affordable Rental Housing 2009	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP provides for an increase in the supply and diversity of affordable rental and social housing in NSW.</i>
Building Sustainability Index: BASIX 2004	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP provides for the implementation of BASIX throughout the State.</i>
Coastal Management 2018	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP promotes an integrated and co-ordinated approach to land use planning in the coastal zone in a manner consistent with the objects of the Coastal Management Act 2016, including the management objectives for each coastal management area.</i>
Concurrences 2018	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP allows the Planning Secretary to act as a concurrence authority.</i>
Educational Establishments and Child Care Facilities 2017	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP facilitates the effective delivery of educational establishments and early education and care facilities across the state.</i>
Exempt and Complying Development Codes 2008	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP provides exempt and complying development codes that have State-wide application, identifying, in the General Exempt Development Code, types of development that are of minimal environmental impact that may be carried out without the need for development consent; and, in the General Housing Code, types of complying development that may be carried out in accordance with a complying development certificate.</i>
Gosford City Centre 2018	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP applies to the Gosford City Centre.</i>
Housing for Seniors or People with a Disability 2004	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP aims to encourage provision of housing for seniors, including residential care facilities. The SEPP provides development standards.</i>
Infrastructure 2007	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP provides a consistent approach for infrastructure and the provision of services across NSW, and to support greater efficiency in the location of infrastructure and service facilities.</i>

Kosciuszko National Park – Alpine Resorts 2007	Not Applicable <input checked="" type="checkbox"/>	<i>This SEPP applies to part of Kosciuszko national park, and to Kosciuszko Road and the Alpine Way. The part of Kosciuszko Park to which the policy applies is the land described as the ski resort area in Part 8A of Schedule 6 to the Act.</i>
Kurnell Peninsula 1989	Not Applicable <input checked="" type="checkbox"/>	<i>This SEPP applies to land within the Shire of Sutherland, known as Kurnell Peninsula, and adjacent waterways.</i>
Mining, Petroleum Production & Extractive Industries 2007	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>The SEPP aims to provide proper management of mineral, petroleum and extractive material resources and ESD.</i>
Miscellaneous Consent Provisions 2007	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP provides for the erection of temporary structures and the use of places of public entertainment while protecting public safety and local amenity.</i>
Penrith Lakes Scheme 1989	Not Applicable <input checked="" type="checkbox"/>	<i>This SEPP applies to the land shown edged heavy black on the structure plan relating to Penrith Lakes.</i>
Primary Production and Rural Development 2019	Not Applicable <input type="checkbox"/> Applicable <input checked="" type="checkbox"/>	<i>This SEPP facilitates the orderly economic use and development of lands for primary production; reduce land use conflict and sterilisation of rural land.</i>
Complies	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Comment Only <input type="checkbox"/>	The development would meet the aims of this SEPP particularly (b) in that the site is located where there will be minimal land use conflict or sterilisation of primary production land.
State and Regional Development 2011	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP identifies development that is State significant development or State significant infrastructure and critical State significant infrastructure and to confer functions on joint regional planning panels to determine development applications.</i>
State Significant Precincts 2005	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP facilitates the development, redevelopment or protection of important urban, coastal and regional sites of economic, environmental or social significance to the State so as to facilitate the orderly use, development or conservation of those State significant precincts for the benefit of the State, and facilitates service delivery outcomes for a range of public services and to provide for the development of major sites for a public purpose or redevelopment of major sites no longer appropriate or suitable for public purposes.</i>
Sydney Drinking Water Catchment 2011	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP provides for healthy water catchments that will deliver high quality water while permitting compatible development.</i>
Sydney Region Growth Centres 2006	Not Applicable <input checked="" type="checkbox"/>	<i>This SEPP co-ordinates the release of land for residential, employment and other urban development in the Orth West Growth Centre, the South West Growth Centre and the Wilton Growth Area.</i>
Three Ports 2013	Not Applicable <input checked="" type="checkbox"/>	<i>This SEPP provides a consistent planning regime for the development and delivery of infrastructure on land in Port Botany, Port Kembla and the Port of Newcastle</i>
Urban Renewal 2010	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP establishes the process for assessing and identifying sites as urban renewal precincts, and facilitates the orderly and economic development and redevelopment of sites in and around urban renewal precincts,</i>
Vegetation in Non-Rural Areas 2017	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<i>This SEPP protects the biodiversity values of trees and other vegetation in non-rural areas of the State, and to preserves the amenity of non-rural areas of the State through the preservation of trees and other vegetation.</i>

Complies	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Comment Only <input type="checkbox"/>	Not vegetation is proposed to be removed from the site.
Western Sydney Employment Area 2009	Not Applicable <input checked="" type="checkbox"/>	<i>This SEPP protects and enhances the land known as the Western Sydney Employment Area for employment purposes.</i>
Western Sydney Parklands 2009	Not Applicable <input checked="" type="checkbox"/>	<i>This SEPP puts in place planning controls that will enable the Western Sydney Parklands Trust to develop the Western Parklands into a multi-use urban parkland for the region of western Sydney.</i>

List all relevant Draft SEPPs		
SEPP	Compliance	Comment
SEPP 55 — Remediation of Land	Not Applicable <input type="checkbox"/> Applicable <input checked="" type="checkbox"/>	<i>The proposed SEPP will provide a state-wide planning framework for the remediation of land; require consent authorities to consider the potential for land to be contaminated when determining development applications; clearly list the remediation works that require development consent; and introduce certification and operational requirements for remediation works that can be undertaken without development consent.</i>
Complies	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Comment Only <input type="checkbox"/>	See Comment above.
SEPP - Environment	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<p><i>This consolidated SEPP proposes to simplify the planning rules for a number of water catchments, waterways, urban bushland, and Willandra Lakes World Heritage Property. Changes proposed include consolidating the following seven existing SEPPs:</i></p> <ul style="list-style-type: none"> <i>State Environmental Planning Policy No. 19 – Bushland in Urban Areas</i> <i>State Environmental Planning Policy (Sydney Drinking Water Catchment) 2011</i> <i>State Environmental Planning Policy No. 50 – Canal Estate Development</i> <i>Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment</i> <i>Sydney Regional Environmental Plan No. 20 – Hawkesbury-Nepean River (No.2-1997)</i> <i>Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005</i> <i>Willandra Lakes Regional Environmental Plan No. 1 – World Heritage Property.</i>
SEPP – Housing Diversity	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<p><i>This SEPP aims to facilitate the delivery of diverse and affordable housing to meet the needs of the State's growing population and support the development of a build-to-rent sector. It introduces new definitions for build-to-rent housing, student housing and co-living;</i></p> <ul style="list-style-type: none"> <i>amends some state-level planning provisions, particularly for boarding house and seniors housing development;</i> <i>amends some state-level planning provisions to support social housing developments undertaken by the NSW Land and Housing Corporation (LAHC) on government-owned land; and</i> <i>consolidates three housing-related SEPPs</i> <ul style="list-style-type: none"> <i>State Environmental Planning Policy (Affordable Rental Housing) 2009</i>

		<ul style="list-style-type: none"> ○ <i>State Environmental Planning Policy (Housing for Seniors and People with a Disability) 2004</i> ○ <i>State Environmental Planning Policy No 70 – Affordable Housing (Revised Schemes).</i>
SEPP (State & Regional Development)	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<p><i>The proposed changes will:</i></p> <p><i>Remove the \$30 million capital investment value criteria for upgrades of water treatment facilities associated with an existing facility.</i></p> <ul style="list-style-type: none"> • <i>Fast-track the approval process so drought related water treatment facility upgrades can be delivered quicker.</i> • <i>Allow Sydney Water to respond to future drought conditions.</i> <p><i>The proposed changes will allow facilities unlikely to have a significant environmental impact on the environment to be assessed by water supply public authorities, instead of a longer State Significant Infrastructure assessment process.</i></p> <p><i>Any new water treatment facilities will still be assessed as State Significant infrastructure. The proposed changes won't apply to desalination plants, new water treatment facilities or water storage facilities.</i></p>
SEPP (Infrastructure)	Not Applicable <input checked="" type="checkbox"/> Applicable <input type="checkbox"/>	<p><i>This amendment aims to clarify and streamline the planning assessment for the extension and maintenance of the Wild Dog Fence.</i></p> <p><i>The proposed amendment includes:</i></p> <ul style="list-style-type: none"> • <i>Extension:</i> <i>amend Clause 132 to allow an extension of the fence to be considered as State Significant Infrastructure (subject to a detailed assessment) replacing the need to seek multiple government approvals for different parts of the fence.</i> • <i>Maintenance:</i> <i>include provisions under Clause 132 that permit routine maintenance of the fence to be carried out as exempt development.</i>

Is there any other issue that requires notation?

Yes ☐ No ☒

Planning Agreement

Section 4.15(1)(a)(iia) – EP & A Act

Is there a Planning Agreement in force under section 93F of the EP&A Act?

Yes ☐ No ☒

Has a Planning Agreement been offered under this development?

Yes ☐ No ☒

Local Strategic Planning Statement

Walgett Community Strategic Plan Alignment		Applicable
C 1.1	Develop a connected, informed, resilient and inviting community.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
C 1.2	A safe, active and healthy Shire.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
C 1.3	A diverse and creative culture.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
E 2.1	An attractive environment for business, tourism and industry.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
E 2.2	Employment opportunities that supports local industries.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
E 2.3	An efficient network of arterial roads and supporting infrastructure; town streets and footpaths that are adequate and maintained.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
E 2.4	Communities that are well serviced with essential infrastructure.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

SL 4.1	Operate an urban waste management system that meets the community needs and environmental standards.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
SL 4.2	Provide potable and raw water supply systems that ensures enhanced water security and meets health standards.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
SL 4.3	A sustainable environment that recognises our rivers, natural environment, ecological systems and biodiversity.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
SL 4.4	Maintain a healthy balance between development and the environment.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
I 5.1	Provide and maintain an effective road network that meets the community needs and expectations.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
I 5.2	A Regional and State Road network that is appropriately supported and resourced by Government.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
I 5.3	Maintain and improve Council's property assets to an optimal level.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
I 5.4	Provision of facilities and communication services.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Planning Priority		Applicable
PP1.	Promote development that contributes to the unique character of the towns and villages within Walgett Shire and meets the needs of a changing population.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
PP2.	Protect and respect Aboriginal Communities through promoting management and ownership of land of which they have a traditional association, or which can assist with their social, cultural and economic development.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
PP3.	Support sustainable economic development including agriculture and new industries based on the Shire's built and natural assets and locational advantages.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
PP4.	Promote preferred locations for industrial growth and development.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
PP5.	Engage Aboriginal and Torres Strait Islander People in employment or education, with an emphasis on workforce participation and opportunities.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
PP6.	Promote tourism as a significant component of the Shire's economy.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
PP7.	Encourage sustainable management of the Shire's natural assets and environmental features.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
PP8.	Protect and enhance the natural environment and improve biodiversity.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
PP9.	Protect items, places, and areas of natural and cultural heritage.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
PP10.	Ensure that future urban development is supported by adequate infrastructure and access to a range of social and community facilities sufficient to support the future population base of the community.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Far West Regional Plan Alignment		Applicable
Direction 1 - Grow the agribusiness sector, value-added manufacturing opportunities and supply chains.		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 2 - Protect productive agricultural land and plan for greater land use compatibility.		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 3 - Sustainably manage mineral resources.		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 4 - Diversity energy supply through renewable energy generation.		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 5 - Promote tourism opportunities.		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Direction 6 - Unlock economic potential through improved freight transport infrastructure.		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 7 - Improve regional air connections.		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 8 – Enhance access to telecommunications.		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Direction 9 - Sustainably manage water resources for economic opportunities.		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Direction 10 - Enhance the economic self-determination of Aboriginal communities.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Direction 11 - Support new planning and land management arrangements.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 12 - Enhance the productivity of employment lands.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 13 - Protect and manage environmental assets.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 14 - Manage and conserve water resources for the environment.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 15 - Manage land uses along key river corridors.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 16 - Increase resilience to climate change.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 17 - Manage natural hazard risks.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 18 - Respect and protect Aboriginal cultural heritage assets.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 19 - Conserve and adaptively re-use European heritage assets.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 20 - Manage change in settlements.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Direction 21 - Strengthen communities of interest and cross-regional relationships.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Direction 22 - Collaborate and partner with Aboriginal communities.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Direction 23 - Improve access to local health services, aged care and senior' housing.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Direction 24 - Enhance access to education and training.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Direction 27 - Provide greater housing choice.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 28 - Deliver greater housing choice.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 29 - Manage rural residential development.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Direction 30 - Create healthy built environments.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Supporting Planning Assessment

Has the applicant submitted any supporting planning assessments?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is there any other issue that requires notation?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Subdivision

Is this application for subdivision?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
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Environmental Impacts

Section 4.15(1)(b) – EP & A Act

Does this proposal have any potential impact on:

	Impact	Comment
Social	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Positive social impacts – it will help to create and maintain a sense of community, and will be accessible for the wider community.
Economical	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Positive economic impact – use of the community facility will positively affect the surrounding shops, cafes and facilities.
Siting & Configuration	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	The development has been designed appropriately, and is well sited and configured on the site.
Setbacks	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	The closest setback of the development is 1m, which is to the neighbouring property which is used as a butcher.
Privacy	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.
Overshadowing	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	The design of the development – being single storey, and appropriately setback off the boundary casts minimal issues in relation to the potential for overshadowing.
Solar Access	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Solar access is achieved on the site. The development is situated to the north, which takes advantage of the northern sun, with minimal

		impacts on neighbouring properties. Solar panels are proposed on the northern aspect of the building.
Visual	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	The visual impact will be minimal as the proposed development is sited at the rear of the existing building.
Significant Views	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.
Amenity	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.
Water	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Water runoff will be dealt with as outlined in the architectural drawings. The water will run-off to Wilson street as requested by Council's Engineer.
Air	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.
Noise	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.
Land Degradation	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.
Tree Loss	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.
Flora	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.
Fauna	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impacts identified.

Has a Threatened Species Impact Assessment been prepared? Yes ☐ No ☒

Are there any species/communities listed under the TSC Act? Yes ☐ No ☒

Does the proposed development require approval under the EPBC Act Yes ☐ No ☒

Heritage	Impact	Comment
European	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Heritage Item - I24 Tattersall's Hotel is two lots away from the site. The development will not impact on this heritage item.
Aboriginal	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	An Aboriginal Heritage Information Management System (AHIMS) search was not carried out for the land.

Is this land classified as containing an item of environmental heritage? Yes ☐ No ☒

Is there an impact on and adjoining or in close vicinity to an item of environmental heritage? Yes ☒ No ☐

Comment: I24 - Tattersall's Hotel is two lots away from the site. The development will not impact on this heritage item.

Is this proposal in a heritage conservation Zone? Yes ☐ No ☒

Is this proposal in an adjoining or in close vicinity to a conservation zone? Yes ☐ No ☒

Has a Heritage Impact Statement been prepared for this proposal? Yes ☐ No ☒

Has an Archaeological Survey been prepared for this proposal? Yes ☐ No ☒

Is there any other issue that requires notation? Yes ☐ No ☒

Flooding

Section 4.15(1)(b) – EP & A Act

Is this property flood affected? Yes ☐ No ☒

Comment: Council's DCP indicates that the centre of Collaranebri does not flood which is contrary to advisory information in Council's Geographic Information System. Recent flood information (2008) provides reliable evidence the centre of town does not flood. Given the lack of site specific modelling the recent data (2008) is given prominence.

Bush Fire Prone Land

Section 4.15(1)(b) – EP & A Act

Is this property bush fire prone as per the Bush Fire Prone Map? Yes ☐ No ☒

Has a Bush Fire Management Plan been Prepared? Yes ☐ No ☒

Does this development comply with Planning for Bushfire 2006? Yes ☐ No ☒

Contaminated Land

Section 4.15(1)(b) – EP & A Act

Has this land been identified as being contaminated land by Council? Yes ☐ No ☒

Has a Contaminated Land Site Investigation been completed? Yes ☐ No ☒

Does this land require remediation? Yes ☐ No ☒

Is a referral required to NSW Environment Protection Authority? Yes ☐ No ☒

Has a Remediation Action Plan been completed for the land? Yes ☐ No ☒

Is it a possibility this land may be contaminated? Yes ☐ No ☒

Is this land in the close vicinity or adjoining a known contaminated site? Yes ☐ No ☒

Infrastructure

Section 4.15(1)(b) – EP & A Act

Is an engineering assessment required? Yes ☒ No ☐

Has an engineering assessment been completed? Yes ☒ No ☐

Who completed the Engineering Assessment?

Engineering Department ☒ Assessing Officer ☐ Other ☐

Does this proposal have any potential impact on:

	Impact	Comment
Sewer	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	There is an existing sewer system on the site that is proposed to be moved as a result of this application.
Water	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Water is provided to the site.
Drainage	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Drainage is to go to Wilson Street as directed by the Engineer. This is demonstrated on plan – DA2.2
Access	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Access to the site exists and will not change as a result of this application.
Kerb & Gutter	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Not relevant to this site. Kerb and gutter is existing out the front, and is not required to the rear of the property/
Upgrade Existing Road	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No upgrades are required.
Road Network	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No upgrades are required.
Existing Easements	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No easements.
Electricity	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Electricity is existing on the site.
Telecommunications	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Telecommunications are existing on the site, and will be upgraded as a result of this application.
Pedestrian Access	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	There is safe pedestrian access to the site.
Loading & Unloading	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Not relevant to this application.
Parking	Yes <input type="checkbox"/> No <input type="checkbox"/>	One parking spot is proposed. There is no requirement for parking in WSDCP 2016 or WLDEP2016
Energy Conservation	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	No impact as a result of this application.

Does the development require any new easements? Yes ☐ No ☒

Has an Erosion and Soil Control Plan been submitted? Yes ☐ No ☒

Is there any outstanding issues requiring attention? Yes ☐ No ☒

Construction Assessment

Is a Construction Certificate Required? Yes ☒ No ☐

Was a construction certificate submitted with this application? Yes ☐ No ☒

Has Council been appointed as the Principle certifying Authority? Yes ☒ No ☐

Has a construction assessment been completed? Yes ☒ No ☐

Is an annual Fire Safety Measures certification required? Yes ☒ No ☐

Is a public defects liability agreement required? Yes ☐ No ☒

Is there any other issue that requires notation? Yes ☐ No ☒

Section 68 Assessment

Is a section 68 assessment required? Yes ☐ No ☒

Has a section 68 assessment been completed? Yes ☐ No ☒

Was a section 68 application submitted with this application? Yes ☐ No ☒

What type of waste system is required?

Does this system require connection to a Council maintained system? Yes ☐ No ☒

Is there any other issue/feature/impact that requires notation from the assessment? Yes ☐ No ☒

Developer Contributions

Does this proposal require any Developer Contribution? Yes ☐ No ☒

Is the contribution for a subdivision? Yes ☐ No ☒

Is the contribution for a special purpose relating only to this proposal? Yes ☐ No ☒

Is there any other issue that requires notation? Yes ☐ No ☒

Signage

Does this proposal require signage? Yes ☐ No ☒

Has this application included signage? Yes ☐ No ☒

Should a restriction be placed on the amount/type of signage? Yes ☐ No ☒

Will the signage require referral to the TfNSW or Local/Regional Traffic Committee? Yes ☐ No ☒

Notification

Does this application require notification/advertising? Yes ☒ No ☐

Is this application an advertised development application under the EP & A Act? Yes ☐ No ☒

Was this application notified/advertised as per the provisions of?
☐ EP & A Act ☐ LEP ☒ CPP Yes ☒ No ☐

Was this application notified/advertised for public interest purposes only? Yes ☒ No ☐

Dates Notification Undertaken Commenced 10th August 2021 Finished 24th August 2021

Were there any written submissions received? Yes ☐ No ☒

Submission Maker:

Issue:	
Comment:	

Is there any other issue that requires notation?

Yes ☐ No ☒

Section 88b Instrument

Does Council require a Section 88b instrument to be prepared?

Yes ☐ No ☒

Public Interest

Does this proposal have any construction or safety issues?

Yes ☐ No ☒

Is there any public health issues?

Yes ☐ No ☒

Are there any other public interest issues?

Yes ☐ No ☒

Site Suitability

Section 4.15(1)(c) – EP & A Act

Is this a suitable site for this development?

Yes ☒ No ☐

Assessing Officer General Comment

Comment: There are no outstanding issues that cannot be dealt with by the use of appropriate conditioning.

Recommendation

This development application be approved subject to the following conditions:

RELEVANT PRESCRIBED CONDITIONS

(under the Environmental Planning and Assessment Regulation 2000)

Nil

Erection of signs

Please Note: This does not apply in relation to:

- Building work or demolition work that is carried out inside an existing building, which does not affect the external walls of the building development consent, in the case of a temporary structure that is an entertainment venue, or
- Crown building work that is certified, in accordance with section 116G of the Act, to comply with the technical provisions of the State's building laws.
- A complying development certificate issued before 1 July 2004 only if the building work, subdivision work or demolition work involved had not been commenced by that date.

- A sign must be erected in a prominent position on any site on which building work or demolition work is being carried out:
 - showing the name, address and telephone number of the principal certifying authority for the work, and
 - showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - stating that unauthorised entry to the site is prohibited.
- Any such sign is to be maintained while the building work or demolition work is being carried out, but must be removed when the work has been completed.

Please Note: Principal certifying authorities and principal contractors must also ensure that signs required by this clause are erected and maintained (see clause 227A which currently imposes a maximum penalty of \$1,100).

Shoring and adequacy of adjoining property

Please Note: This does not apply if the person having the benefit of the complying development certificate owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

3. If the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the certificate must at the person's own expense:
 - a) protect and support the adjoining premises from possible damage from the excavation, and
 - b) where necessary, underpin the adjoining premises to prevent any such damage.

GENERAL CONDITIONS

4. The development shall be implemented in accordance with:
 - (a) All documentation and correspondence submitted by the applicant, or their agents, in support of the Development Application,
 - (b) the details set out on the plans approved and stamped by authorised officers of Council, except as amended by the conditions of this development consent.

Note: Any proposal to modify the terms or conditions of this consent, whilst still maintaining substantially the same development to that approved, will require the submission of a formal application under Section 4.55 of the Environmental Planning and Assessment Act 1979 for Council's consideration. If amendments to the design result in the development not remaining substantially the same as that approved by this consent, a new development Application will have to be submitted to Council.
5. A copy of all stamped approved plans, specifications and documents must be kept on site at all times so as to be readily available for perusal by any officer of Council or the Principal Certifying Authority.

Stamped Plans / Documents	Ref / Sheet No.	Prepared by	Dated
Statement of Environmental Effects.	-	Jeremy Goff.	26/07/2021
Cost Estimate Report	-	Jeremy Goff	27/07/2021
Cover Sheet	DA1.0	iphorm Building Designers.	26/07/2021
Site Analysis.	DA2.0	iphorm Building Designers.	26/07/2021
Site Plan.	DA2.1	iphorm Building Designers.	26/07/2021
Storm water Management Plan	DA2.2	iphorm Building Designers.	26/07/2021
Floor Plan.	DA3.1	iphorm Building Designers.	26/07/2021
Roof Plan.	DA3.5	iphorm Building Designers.	26/07/2021
Elevations.	DA4.0	iphorm Building Designers.	26/07/2021
Elevations.	DA4.1	iphorm Building Designers.	26/07/2021
3D.	DA5.0	iphorm Building Designers.	26/07/2021

6. All management recommendations contained within the Statement of Environmental Effects by Jeremy Goff dated 26.07.2021 are to be complied with.
7. A report will need to be provided to Council prior to the issue of a Construction Certificate by an accredited Fire Safety Engineer and access consultant, showing the development compliance with the relevant Australian Standards.
8. The following procedures and the risk management procedures for the demolition apply:

- a) Demolition will comply with the relevant requirements of WorkCover NSW, the Occupational Health and Safety Act and Australian Standard A.S.2601-20011 the "Demolition of Structures".
 - b) Sewer and stormwater will be capped off at ground level to prevent any ingress of water and debris into the sewerage and stormwater system.
 - c) Water supply will be isolated at Council's water meter. Water meter(s) will be protected and left in place.
 - d) All waste materials will be recycled where possible.
 - e) All hazardous materials shall be removed from the site and disposed of at an approved waste disposal facility in accordance with the requirements of the relevant legislation, codes, standards and guidelines prior to demolition commencing. Details of compliance, namely the method of containment and control of emission of fibres to the air shall be submitted to Council prior to the removal of any hazardous material.
9. A report will need to be provided to Council prior to the issue of a Construction Certificate by a suitably accredited Fire Engineer, showing the National Construction Code compliance and with the relevant Australian Standards, detailing the exact works to be undertaken, including a Proposed Fire Safety Schedule for the whole building.
10. Connection is to be ensured to the Walgett water and sewer reticulated supply. All connections are to be to a standard approved by Council and are at the cost of the applicant.

CONDITIONS TO BE COMPLETED PRIOR TO CONSTRUCTION COMMENCING

11. A Construction Certificate must be obtained, in accordance with cl.146 of the Environmental Planning and Assessment Regulation 2000, before work commences.
12. Council is to be given written notice of the intention to commence works and the appointment of a Principal Certifying Authority (if the PCA is not Council) at least two days before the proposed date of commencement, in accordance with cl 103 and 104 of the Environmental Planning and Assessment Regulation 2000. Such notice is given using the form enclosed with this consent. Should Council be appointed the Principal Certifying Authority, the applicant must give at least 2 days' notice to enable inspections to be undertaken.

Please Note: Failure to take effective action may render the developer liable to prosecution under the NSW Protection of the Environment Operations Act 1997.

13. A hoarding or fence must be erected between the work site and any public place if the work is likely to cause traffic (pedestrian or vehicular) in a public place to be obstructed or otherwise inconvenience. The erected hoarding is to be sufficient to prevent any substance from or in connection with the work falling into the public place. The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place. The hoarding, fence or awning is to be removed once the work has been completed.
14. Approval to carry out work on the footpath must be obtained, in accordance with section 138 of the Roads Act 1993, before works commence.
15. Approval to carry out water, sewer and stormwater work must be obtained, in accordance with section 68 of the Local Government Act 1993, before works commence.

CONDITIONS TO BE COMPLETED DURING CONSTRUCTION

16. The owner of the property is to ensure that any building is constructed:
- (a) to meet the setback requirements of the approved plans, and;
 - (b) to be located within the confines of the lot.
17. Any building work must be carried out between 7.00am and 5.00pm Monday to Friday and 8.00am to 1.00pm Saturdays, excluding Sundays and public holidays. No audible construction is to take place outside these hours, to maintain the amenity of the locality.
18. A garbage receptacle must be provided at the work site before works begin and must be maintained until works are completed. The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.
19. Waste materials (including excavation, demolition and construction waste materials) must be managed on the site (and must not be burned on site) and then disposed of at a waste management facility, to protect the amenity of the area and avoid the potential of air pollution.

20. Effective dust control measures are to be maintained during construction to maintain public safety/amenity. Construction activities are to be undertaken so as not to inconvenience the adjoining land owners and are to be restricted solely to the subject site.
21. Any run-off and erosion control measures required must be maintained within their operating capacity until the completion of the works to prevent debris escaping from the site into drainage systems, waterways, adjoining properties and roads.
22. No material or equipment associated with the development is to be placed on public land without the written consent of the Council, and any activity located in close proximity to public areas is to be fenced to prevent damage to persons or property.
23. Any earthworks (including any structural support or other related structure for the purposes of the development):
 - a) must not cause a danger to life or property or damage to any adjoining building or structure on the lot or to any building or structure on any adjoining lot, and
 - b) must not redirect the flow of any surface or ground water or cause sediment to be transported onto an adjoining property, and
 - c) that is fill brought to the site—must contain only virgin excavated natural material (VENM) as defined in Part 3 of Schedule 1 to the Protection of the Environment Operations Act 1997, and
 - d) that is excavated soil to be removed from the site—must be disposed of in accordance with any requirements under the Protection of the Environment Operations (Waste) Regulation 2005.

Any excavation must be carried out in accordance with *Excavation Work: Code of Practice* (ISBN 978-0-642-785442), published in July 2012 by Safe Work Australia.
24. If, during the course of any activities conducted under this consent, the Applicant becomes aware of any heritage or archaeological sites not previously identified, all work likely to affect the site shall cease immediately. The Applicant shall then consult with relevant authorities and decide on an appropriate course of action prior to recommencement of work. The relevant authorities may include NSW Environment, Climate Change & Water and the relevant local Aboriginal community. Any necessary permits or consents shall be obtained and complied with prior to recommencement of work.

CONDITIONS TO BE COMPLETED PRIOR TO OCCUPATION/USE COMMENCING

25. Occupancy of the building is not to take place until the Principal Certifying Authority (PCA) has carried out a final inspection and an Occupation Certificate issued. All required trade certifications are to be available to the PCA before the final inspection will be carried out.
26. Occupancy of the building is not to take place until the Principal Certifying Authority has carried out a final inspection, an Occupation Certificate issued and a Fire Safety Schedule has been provided to Council.

Please Note: Failure to obtain an Occupation Certificate is an offence under the legislation. Penalty advice for buildings (penalties do not apply to uses detailed in sections 109M and 109N; i.e. Crown projects, Class 1a and 10 buildings or as detailed for places of public entertainment).

27. At the completion of the works, the work site must be left clear of waste and debris.
28. Occupancy of the building is not to take place until an inspection is to be carried out by the Council Health Inspector to ensure compliance with the NSW Food Authority Standards and any relevant Australian Standard.
29. A dial before you dig (DBYD) must be completed prior to commencing works. Walgett Shire Council cannot guarantee the location of services, additionally Council is not responsible if services are encountered while constructing this access.

CONDITIONS RELATING TO ONGOING OPERATIONS

30. A further application is to be made for any change, enlargement or intensification of the premises or land use, including the display / erection of any new structure such as signage, partition walls or building fit-out (unless the proposed work is exempt from the need for consent under *State Environmental Planning Policy (Codes SEPP) 2008*).

COUNCIL ADVICE ONLY

31. Covenant/s: The applicant / owner has the responsibility of being aware of any covenant which may affect the proposal.
32. Dial Before You Dig: Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial Before You Dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (This is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial Before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial Before You Dig service in advance of any construction or planning activities.
33. Telecommunications Act 1997 (Commonwealth); Telstra (and its authorized contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 (Cth) and is liable for prosecution. Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra's assets in any way, you are required to contact: Telstra's Network Integrity Team on phone number 1800 810 443.

Reasons For Conditions

1. To confirm and clarify the terms of Council's approval.
2. To comply with all relevant legislation.
3. So that the impacts of any increase in the scale or duration of operations may be assessed and appropriately controlled. Section 19 (1) (b) of the *Environmental Planning and Assessment Regulation 2000*, as amended.
4. To prevent and/or minimise the likelihood of environmental harm and public nuisance.
5. To minimise the potential for adverse impacts on the environment or public as a result of the development.
6. To ensure waste is disposed of in an appropriate manner.
7. To ensure that public infrastructure is maintained.
8. To minimise the potential for detrimental impacts to buildings or neighbouring properties.
9. To ensure that any National Construction Code issues are resolved prior to Construction Certificate assessment, including the peer review by an independent Accredited Certifier for alternate or performance solutions.

Conclusion

I confirm that I am familiar with the relevant heads of consideration under the Environmental Planning & Assessment Act and Local Government Act (if applicable) and have considered them in the assessment of this application.

I certify that I have no pecuniary or non-pecuniary interest in this application.

Additional Notes Attached

Signed: 

Caitlin Mahony, Town Planner

Date: 16.08.2021

Signed:  Yes ☐ No ☒

Kobus Nieuwoudt, Director Environmental Services

Date: 19.08.2021